

Appropriate Assessment Screening for a proposed redevelopment at 2-4 Dublin Street in Balbriggan.



19th December 2022

Prepared by: Bryan Deegan (MCIEEM) of Altemar Ltd.

On behalf of: Fingal County Council

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Document Control Sheet

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Table of Contents

Introduction	1
Altemar Ltd.....	1
Background to the Appropriate Assessment	1
Stages of the Appropriate Assessment	3
Stage 1 Screening Assessment	4
Management of the Site	4
Description of the Proposed Project	4
Drainage	13
Identification of Relevant European Sites	15
In-Combination Effects.....	29
Conclusions	31
Data Used for AA Screening	31
Findings of No Significant Effects Report	32
References	33

Introduction

An Appropriate Assessment is an assessment of the potential effects of a proposed project or plan, on its own, or in combination with other plans or projects, on one or more European sites (Special Areas of Conservation (SAC) or Special Protection Areas (SPA)).

The following Appropriate Assessment (AA) (Screening Stage) has been prepared by **Altemar Ltd.** at the request of Fingal County Council. The project relates to the proposed development at 2-4 Dublin Street in Balbriggan.

The AA Screening stage examines the likely significant effects of the proposed development, either on its own, or in combination with other plans and projects, upon a European site and considers whether, on the basis of objective scientific evidence, it can be concluded, in view of best scientific knowledge and the conservation objectives of the relevant European sites, that there are not likely to be significant effects on any European site.

Altemar Ltd.

Since its inception in 2001, Altemar has been delivering ecological and environmental services to a broad range of clients. Operational areas include residential, infrastructural, renewable, oil & gas, private industry, local authorities, EC projects and State/semi-State Departments. Bryan Deegan is the managing director of Altemar. Bryan is an environmental scientist and marine biologist with 27 years' experience working in Irish terrestrial and aquatic environments, providing services to the State, Semi-State and industry. Bryan Deegan (MCIEEM) holds a MSc in Environmental Science, BSc (Hons.) in Applied Marine Biology, NCEA National Diploma in Applied Aquatic Science and a NCEA National Certificate in Science (Aquaculture). Bryan Deegan carried out all elements of this Appropriate Assessment Screening.

Background to the Appropriate Assessment

The Habitats Directive 92/43/EEC (together with the Birds Directive (2009/1477/EC)) forms the cornerstone of Europe's nature conservation policy. The Directive protects over 1000 animals and plant species and over 200 "habitat types" which are of European importance. In the Habitats Directive, Articles 3 to 9 provide the legislative means to protect habitats and species of European Community interest through the establishment and conservation of an EU-wide network of conservation sites (NATURA, 2000). These are Special Areas of Conservation (SACs) designated under the Habitats Directive and Special Protection Areas (SPAs) designated under the Birds Directive), Article 6(3) and 6(4) of the Habitats Directive set out the decision-making tests for plans and projects likely to affect European sites (Annex 1.1). Article 6(3) establishes the requirement for Appropriate Assessment:

"Any plan or project not directly connected with or necessary to the management of the [EUROPEAN] site but likely to have a significant effect thereon, either individually or in combination with other plans and projects, shall be subjected to appropriate assessment of its implications for the site in view of the site's conservation objectives. In light of the conclusions of the assessment of the implication for the site and subject to the provisions of paragraph 4, the component national authorities shall agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the site concerned and, if appropriate, after having obtained the opinion of the general public."

As outlined in "Managing European sites, The provisions of Article 6 of the 'Habitats' Directive 92/43/EEC" (European Commission, 21 November 2018) *"The purpose of the appropriate assessment is to assess the implications of the plan or project in respect of the site's conservation objectives, either individually or in combination with other plans or projects. The conclusions should enable the competent authorities to ascertain whether the plan or project will adversely affect the integrity of the site concerned. The focus of the appropriate assessment is therefore specifically on the species and/or the habitats for which the European site is designated."*

As outlined in the EC guidance document on Article 6(4) (January 2007)¹:

“Appropriate assessments of the implications of the plan or project for the site concerned must precede its approval and take into account the cumulative effects which result from the combination of that plan or project with other plans or projects in view of the site’s conservation objectives. This implies that all aspects of the plan or project which can, either individually or in combination with other plans or projects, affect those objectives must be identified in the light of the best scientific knowledge in the field.

Assessment procedures of plans or projects likely to affect European sites should guarantee full consideration of all elements contributing to the site integrity and to the overall coherence of the network, both in the definition of the baseline conditions and in the stages leading to identification of potential impacts, mitigation measures and residual impacts. These determine what has to be compensated, both in quality and quantity. Regardless of whether the provisions of Article 6(3) are delivered following existing environmental impact assessment procedures or other specific methods, it must be ensured that:

- *Article 6(3) assessment results allow full traceability of the decisions eventually made, including the selection of alternatives and any imperative reasons of overriding public interest.*
- *The assessment should include all elements contributing to the site’s integrity and to the overall coherence of the network as defined in the site’s conservation objectives and Standard Data Form, and be based on best available scientific knowledge in the field. The information required should be updated and could include the following issues:*
 - *Structure and function, and the respective role of the site’s ecological assets;*
 - *Area, representativity and conservation status of the priority and nonpriority habitats in the site;*
 - *Population size, degree of isolation, ecotype, genetic pool, age class structure, and conservation status of species under Annex II of the Habitats Directive or Annex I of the Birds Directive present in the site;*
 - *Role of the site within the biographical region and in the coherence of the European network; and,*
 - *Any other ecological assets and functions identified in the site.*
- *It should include a comprehensive identification of all the potential impacts of the plan or project likely to be significant on the site, taking into account cumulative impacts and other impacts likely to arise as a result of the combined action of the plan or project under assessment and other plans or projects.*
- *The assessment under Article 6(3) applies the best available techniques and methods, to estimate the extent of the effects of the plan or project on the biological integrity of the site(s) likely to be damaged.*
- *The assessment provides for the incorporation of the most effective mitigation measures into the plan or project concerned, in order to avoid, reduce or even cancel the negative impacts on the site.*
- *The characterisation of the biological integrity and the impact assessment should be based on the best possible indicators specific to the European assets which must also be useful to monitor the plan or project implementation.”*

¹ European Commission. (2007). Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC – Clarification of the concepts of: alternative solutions, imperative reasons of overriding public interest, compensatory measures, overall coherence, opinion of the commission;

Stages of the Appropriate Assessment

This Appropriate Assessment screening was undertaken in accordance with the European Commission Methodological Guidance on the provision of Article 6(3) and 6(4) of the 'Habitats' Directive 92/43/EEC (EC, 2001), Part XAB of the Planning and Development Act 2000, as amended, in addition to the December 2009 publication from the Department of Environment, Heritage and Local Government; 'Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities' and the European Communities (Birds and Natural Habitats) Regulations 2011. In order to comply with the above Guidelines and legislation, the Appropriate Assessment process must be structured as follows:

1) Screening stage:

- Description of plan or project, and local site or plan area characteristics;
- Identification of relevant European sites, and compilation of information on their qualifying interests and conservation objectives
- Identification and description of individual in combination effects likely to result from the proposed project;
- Assessment of the likely significance of the effects identified above. Exclusion of sites where it can be objectively concluded that there will be no likely significant effects; and,
Conclusions

2) Appropriate Assessment (Natura Impact Statement):

- Description of the European sites that will be considered further;
- Identification and description of potential adverse impacts on the conservation objectives of these sites likely to occur from the project or plan; and,
- Mitigation Measures that will be implemented to avoid, reduce or remedy any such potential adverse impacts
- Assessment as to whether, following the implementation of the proposed mitigation measures, it can be concluded, beyond all reasonable scientific doubt, that there will be no adverse impact on the integrity of the relevant European Site in light of its conservation objectives"
- Conclusions.

If it can be demonstrated during the AA screening phase (Stage 1), that the proposed project will not have a significant effect, whether alone or in combination with other plans or projects, on the conservation objectives of a European site, then no further AA (Stage 2) will be required. It is important to note that there is a requirement to apply a precautionary approach to AA screening. Therefore, where effects are possible, certain or unknown at the screening stage, AA will be required.

In addition, it should be noted that Article 6(3) of the Habitats Directive must be interpreted as meaning that, in order to determine whether it is necessary to carry out, subsequently, an AA of the implications, for a site concerned, of a plan or project, it is not appropriate, at the screening stage, to take account of the measures intended to avoid or reduce the harmful effects of the plan or project on that site.

Stage 1 Screening Assessment

Management of the Site

The project is not directly connected with, or necessary to the management of European sites.

Description of the Proposed Project

Fingal County Council propose to carry out development works at 2-4 Dublin Street, Balbriggan, Co. Dublin on a site of 570 sqm / 0.057 ha. Development includes change of use, refurbishment and extension works at No. 2 Dublin Street (Protected Structure RPS 0058) with demolition and construction works at No. 4 Dublin Street. The site also includes the laneway connecting the rear of the site to George's Square. The site sits within the Balbriggan Town Core Architectural Conservation Area.

The nature and extent of the proposed development is as follows:

- (i) Change of use of No. 2 Dublin Street from Residential to Commercial use.
- (ii) Refurbishment of No. 2 Dublin Street (Protected Structure RPS 0058) as workspaces, in line with best conservation practices.
- (iii) Demolition of the adjoining modern lean-to retail unit at No. 4 Dublin Street.
- (iv) Construction of a new single storey building (276 sqm) at No. 4 Dublin Street and to the rear of No. 2 Dublin Street for use as workspaces and Creative Hub, to include a Workshop Space, Multimedia Room, Office, Classroom Space, Toilets, Multi-functional gallery space and an external courtyard.
- (v) Upgrade of laneway surfacing to the rear of the site adjacent to Balbriggan Courthouse opening onto George's Square including provision of cycle parking.
- (vi) All associated site development works, services, piped infrastructure and ducting, changes in level, site landscaping and all associated site development and excavation works above and below ground.

Note that parking provision for the development is proposed by designation of vehicular parking spaces, licensed to Fingal County Council in the nearby Bracken Court Hotel carpark.

The proposed site outline, location, layout plan, and floor plans are demonstrated in Figures 1-7.

Proposed Construction Methods

A Planning Stage Preliminary Construction Management Plan (OCMP) has been prepared by Hayes Higgins Partnership at the request of our client Paul Keogh Architects & Fingal County Council. As outlined in the OCMP the following will be carried out:

Pre-Construction Activities

'The main contractor will establish site set up, appropriate signing, hoarding, security fencing and welfare facilities. Space within the site boundary is restricted but is adequate to establish adequately sized welfare facilities, material storage, site office and meeting room. Temporary connection to water, drainage and electricity is available to facilitate site works.

The appointed contractor will provide perimeter hoarding around the site to prevent unauthorised access from the public areas.

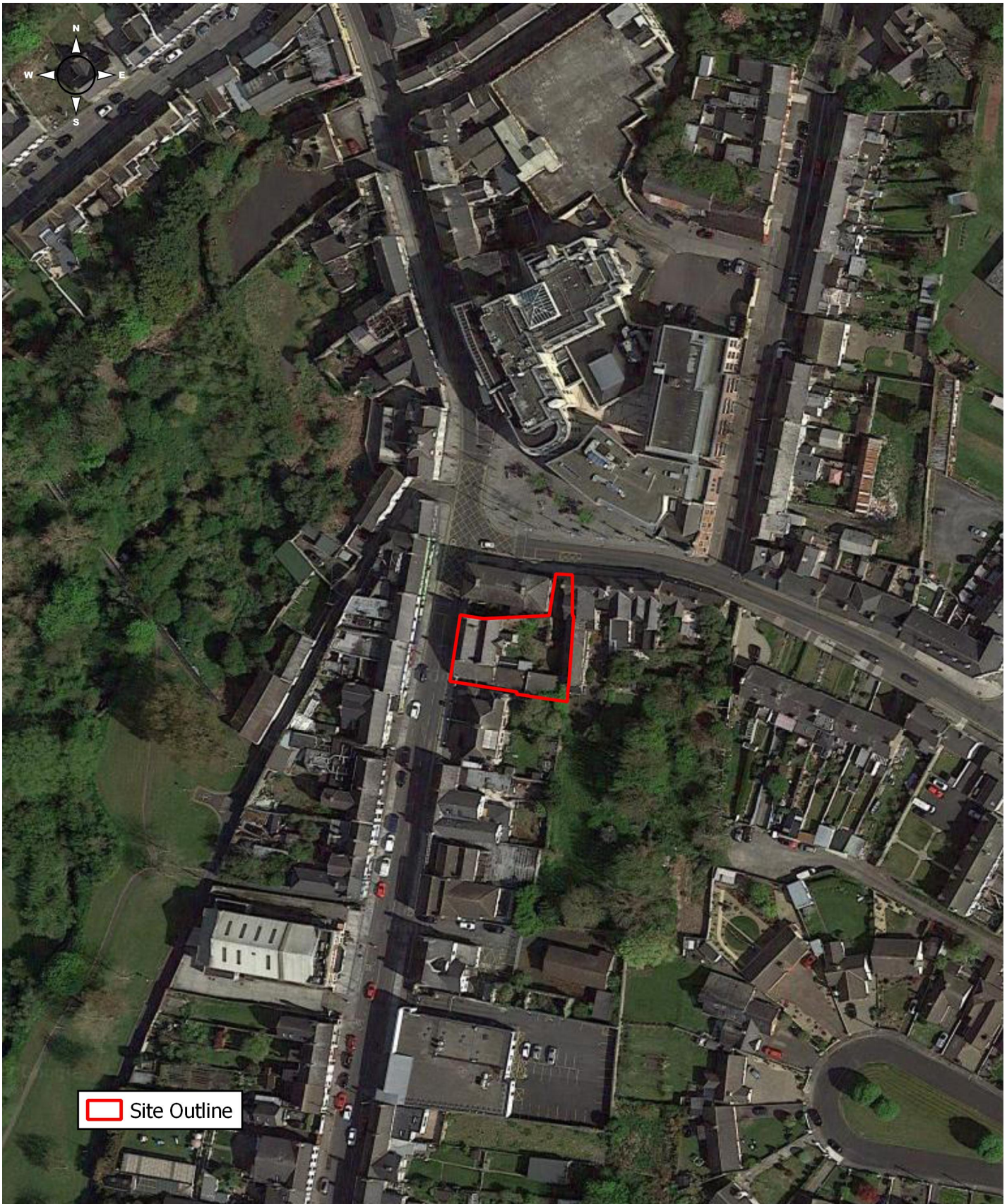
The existing stone wall boundary on the eastern end of the boundary with number 6 Dublin Road will be maintained, a new boundary wall is required on the western end, hoarding is required in this area. To prevent unauthorised access.

The existing stone wall boundary between no 2 Dublin Street and the Courthouse must be maintained.

The hoarding will be well maintained and may contain site graphics portraying project information.

Access to site will be controlled and monitored outside of site working hours.

The historic structures and features of no. 2 Dublin Street and adjoining Balbriggan Courthouse which are Protected Structures must be protected to ensure no damage during the redevelopment project.'



0 50 100 150 m

Project: Dublin Street
 Location: 2-4 Dublin St, Balbriggan, Co. Dublin.
 Date: 01 December 2022
 Drawn By: Bryan Deegan (Altamar)

ALTEMAR
 Marine & Environmental Consultancy



Figure 1. Proposed site outline and location



Site Outline

0 10 20 30 40 m

Project: Dublin Street
Location: 2-4 Dublin St, Balbriggan, Co. Dublin.
Date: 01 December 2022
Drawn By: Bryan Deegan (Altamar)











ALTEMAR
Marine & Environmental Consultancy



Figure 2. Proposed site outline

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS

-  GROUND / FLOOR LEVEL INDICATOR
-  SECTION LINE INDICATOR
-  EXISTING STRUCTURE
-  NEW CONSTRUCTION / MAKE GOOD
-  DEMOLITIONS / ALTERATIONS
-  LEVEL INDICATOR
-  WINDOW NUMBER
-  DOOR NUMBER
-  ROOFLIGHT NUMBER
-  SITE BOUNDARY LINE

TOTAL SITE AREA: 570 SQ.M (0.057 Ha)



REVISIONS	STATUS	DRAWN	CHECKED		
A	13/09/2022	FI	FOR INFORMATION	COF	PM
B	28/09/2022	FI	FOR INFORMATION	COF	PM
C	07/11/2022	FI	FOR INFORMATION	COF	PM
D	22/11/2022	FI	FOR INFORMATION	COF	PM

REVISIONS	STATUS	DRAWN	CHECKED		
A	13/09/2022	FI	FOR INFORMATION	COF	PM
B	28/09/2022	FI	FOR INFORMATION	COF	PM
C	07/11/2022	FI	FOR INFORMATION	COF	PM
D	22/11/2022	FI	FOR INFORMATION	COF	PM

PROJECT: DUBLIN STREET, BALBRIGGAN
 DRAWING: SITE LAYOUT MAP
 JOB NO.: 2129 CLIENT: FINGAL COUNTY COUNCIL
 DATE: SEP'22 SCALE: 1:200 (A3); 1:100 (A1)
 PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.
 TEL NO: 01 6791551 FAX NO: 01 6793476 E-MAIL: info@pka.ie

DRAWING NO.: 2129 / SK / 901 / D

NOTIFY ARCHITECT OF ANY DISCREPANCIES. CHECK DIMENSIONS ON SITE. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY - COPYRIGHT RESERVED - PAUL KEOGH ARCHITECTS



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Figure 3. Site layout map

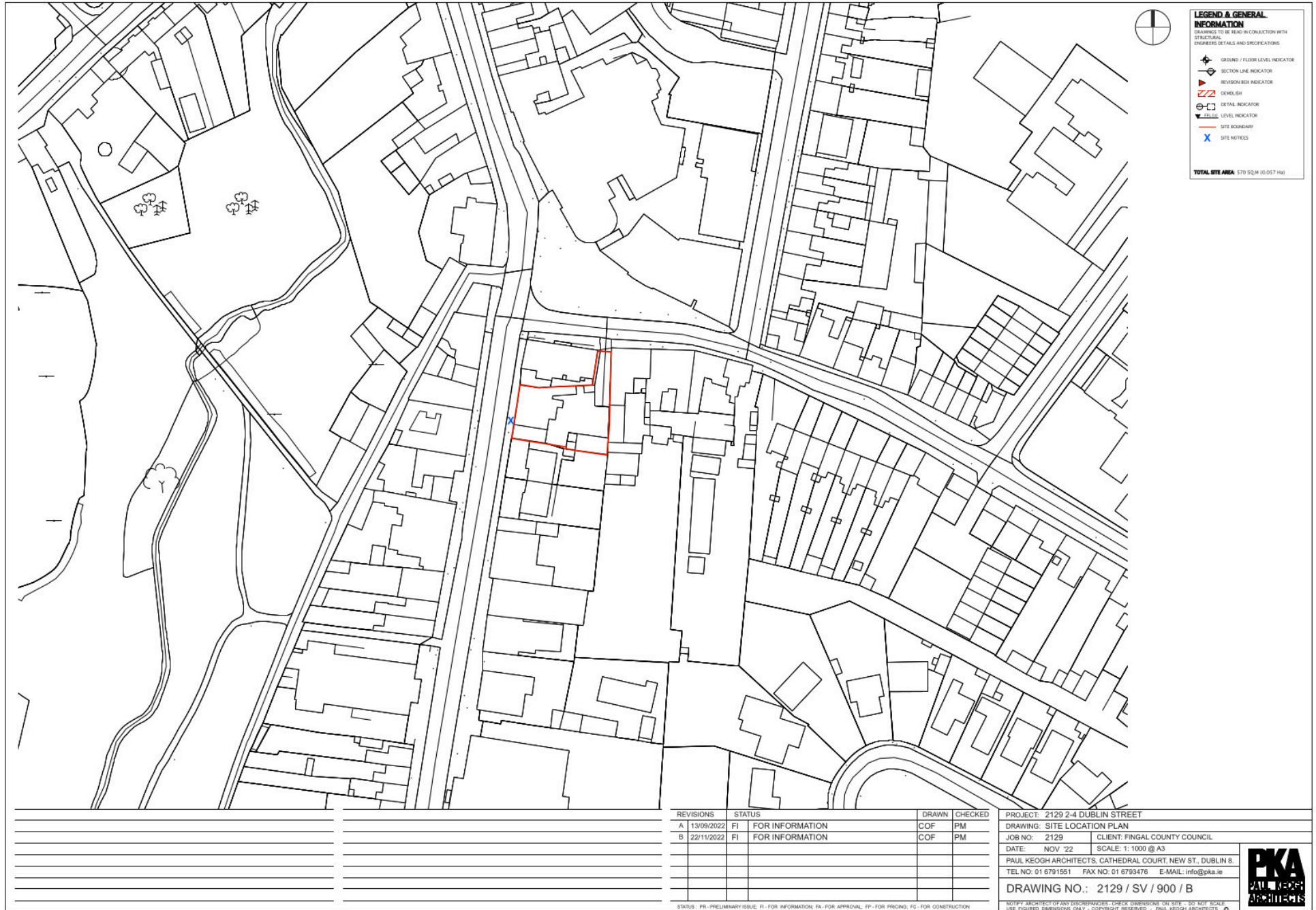












Figure 4. Site location plan

LEGEND & GENERAL INFORMATION

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS

-  GROUND / FLOOR LEVEL INDICATOR
-  SECTION LINE INDICATOR
-  EXISTING STRUCTURE
-  NEW CONSTRUCTION / MAKE GOOD
-  DEMOLITIONS / ALTERATIONS
-  LEVEL INDICATOR
-  WINDOW NUMBER
-  DOOR NUMBER
-  ROOFLIGHT NUMBER
-  SITE BOUNDARY LINE

OUTLINE SPECIFICATION

EXISTING FLOORS:
REPAIR AND RENEW STRUCTURAL TIMBERS AS REQUIRED TO ENGINEER'S LATER DETAIL AND SPECIFICATIONS INCLUDING STRUCTURAL FIRE PROTECTION TO COMPLY WITH TGD PART 8 AND TGD PART A. SELECTED HARDWOOD FLOORING TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

EXISTING ROOF:
REPAIR AND RENEW ROOF TIMBERS AS REQUIRED TO ENGINEER'S LATER DETAIL AND SPECIFICATION. ROOF VOID TO BE INSULATED. RENEW EXISTING SLATING AS REQUIRED.

CHIMNEYS:
REPAIR AND RESTORE RENDER AND COPINGS TO EXISTING STACKS.

EXISTING EXTERNAL WALLS:
REMEDIAL WORKS AND ALTERATIONS TO EXISTING STRUCTURE TO ENGINEER'S LATER DETAIL AND SPECIFICATIONS.

EXISTING WINDOWS:
ORIGINAL SASH WINDOWS TO BE REPAIRED AND RESTORED WITH PROPRIETARY DRAUGHT PROOFING SYSTEM. ORIGINAL GLASS TO BE REPLACED WITH SUMALINE DOUBLE GLAZING UNITS. REPLACE ROTTEN SASHES TO MATCH ORIGINAL EXISTING WORK. REPAIR AND RENEW SHUTTERS AND SASHES TO MATCH ADJOINING WORK.

EXTERNAL FINISHES:
EXISTING EXTERNAL FINISHES TO BE REPAIRED AS REQUIRED.

RAINWATER GOODS:
150mm DIA. CAST ALUMINIUM GUTTERS AND DOWNPIPES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

EXISTING WALL FINISHES INTERNALLY:
RETAIN AND CONSERVE ALL HISTORIC PLASTERWORK & JOINERY. REPLACE PLASTERWORK & JOINERY TO ARCHITECT'S LATER DETAIL AND SPECIFICATIONS. NEW WALLS AND PARTITIONS GENERALLY FINISHED IN GYPSUM PLASTERBOARD WITH SKIM FINISH.

EXISTING CEILINGS AND CORNICES:
WHERE POSSIBLE RETAIN AND CONSERVE ALL HISTORIC CEILINGS AND CORNICES. REPLACE CEILINGS TO ARCHITECT'S LATER DETAIL AND SPECIFICATIONS.

EXISTING STAIRCASE:
CONSERVE AND RESTORE EXISTING STAIRCASES TO ARCHITECT'S LATER DETAIL AND SPECIFICATION.

MECHANICAL & ELECTRICAL:
EXISTING SYSTEMS TO BE RENEWED AND UPGRADED.

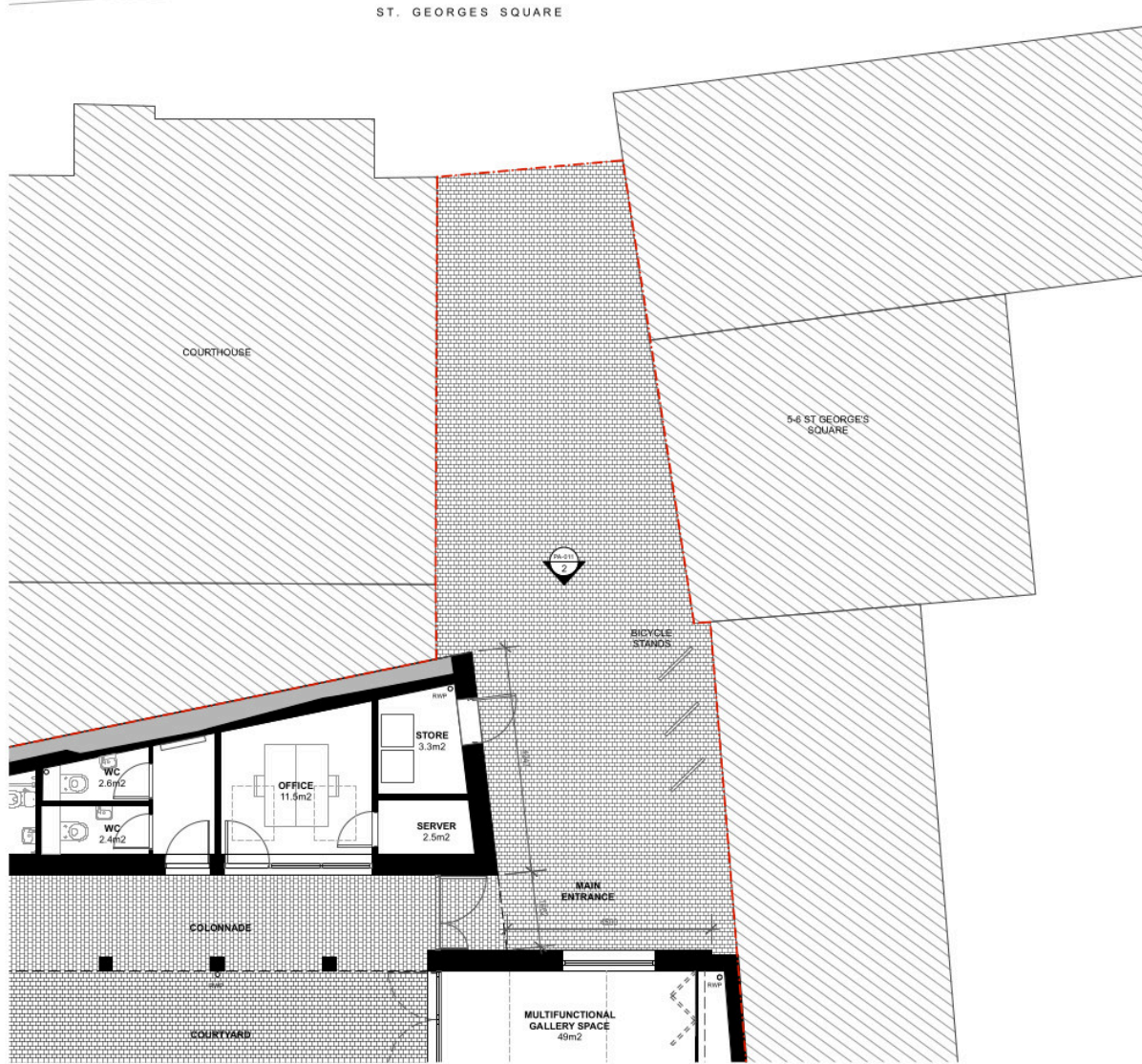
NEW WINDOWS AND DOORS:
RESPOND: TIMBER FRAME & ALUMINIUM WINDOWS AND DOORS.

NEW EXTERNAL WALL FINISHES:
BRICKWORK FINISH TO ARCHITECT'S LATER SPECIFICATION.

NEW FLOORS:
POLISHED CONCRETE. SCREENED TO ARCHITECT/ENGINEER LATER DETAIL.

NEW ROOF FINISH:
STANDING SEAM ZINC ROOF TO AREAS AS SPECIFIED TO ARCHITECT'S LATER DETAIL.

LANDSCAPING:
GRANITE SETTS TO COURTYARD. TREES / PLANTING TO ARCHITECT'S LATER DETAIL.



1 PROPOSED LANEWAY PLAN
PA-011 1:100 (A4)

REVISIONS	STATUS	DRAWN	CHECKED
A	29/11/2022 FI FOR INFORMATION	COF	PM

PROJECT: DUBLIN STREET, BALBRIGGAN	
DRAWING: LANEWAY PLAN	
JOB NO.: 2129	CLIENT: FINGAL COUNTY COUNCIL
DATE: SEP'22	SCALE: 1: 100 (A4)
PAUL KEOGH ARCHITECTS, CATHEDRAL COURT, NEW ST., DUBLIN 8.	
TEL NO: 01 6791551	FAX NO: 01 6793476 E-MAIL: info@pka.ie
DRAWING NO.: 2129 / PA / 004 / A	



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Figure 5. Proposed laneway plan

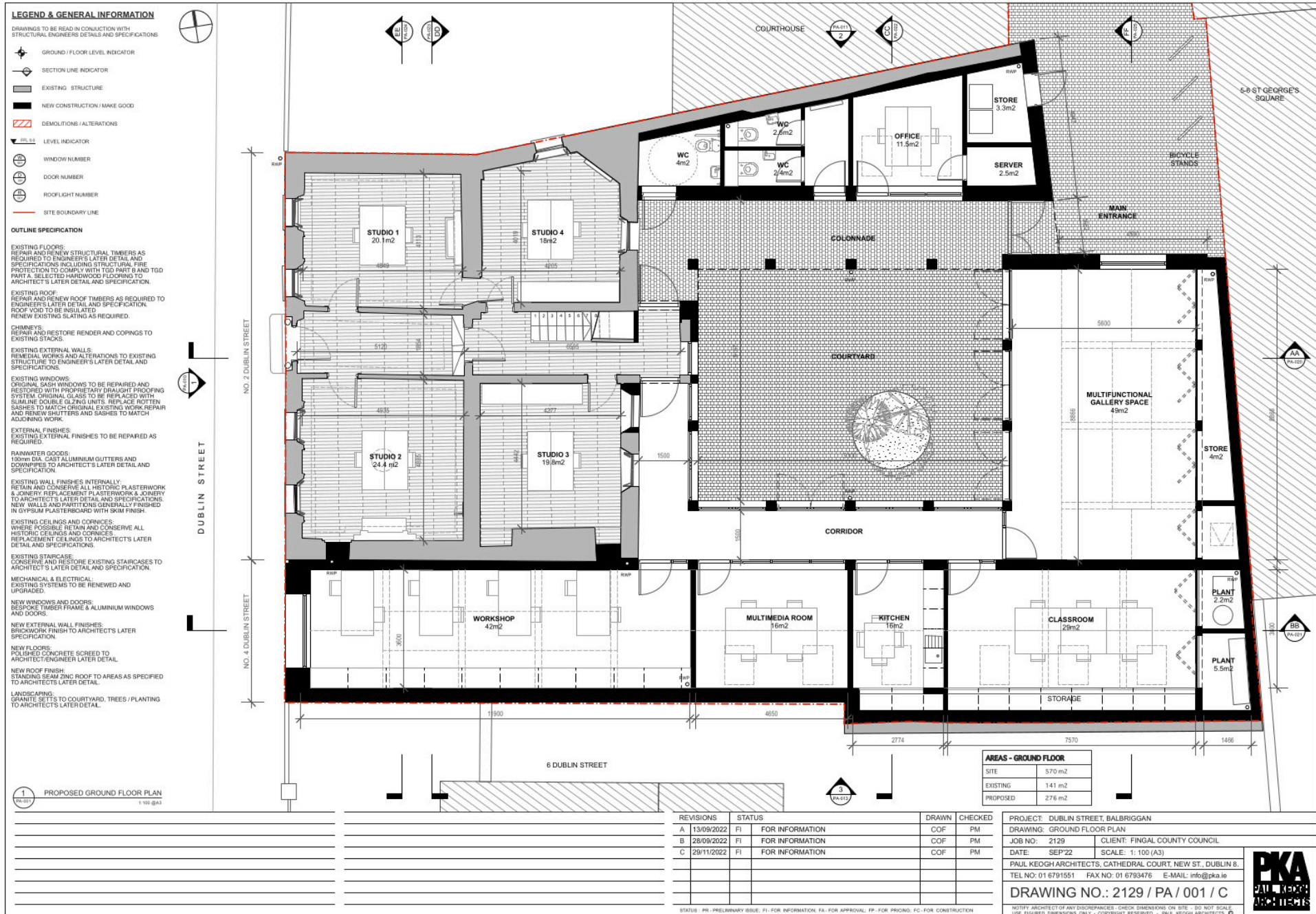


Figure 6. Proposed ground floor plan

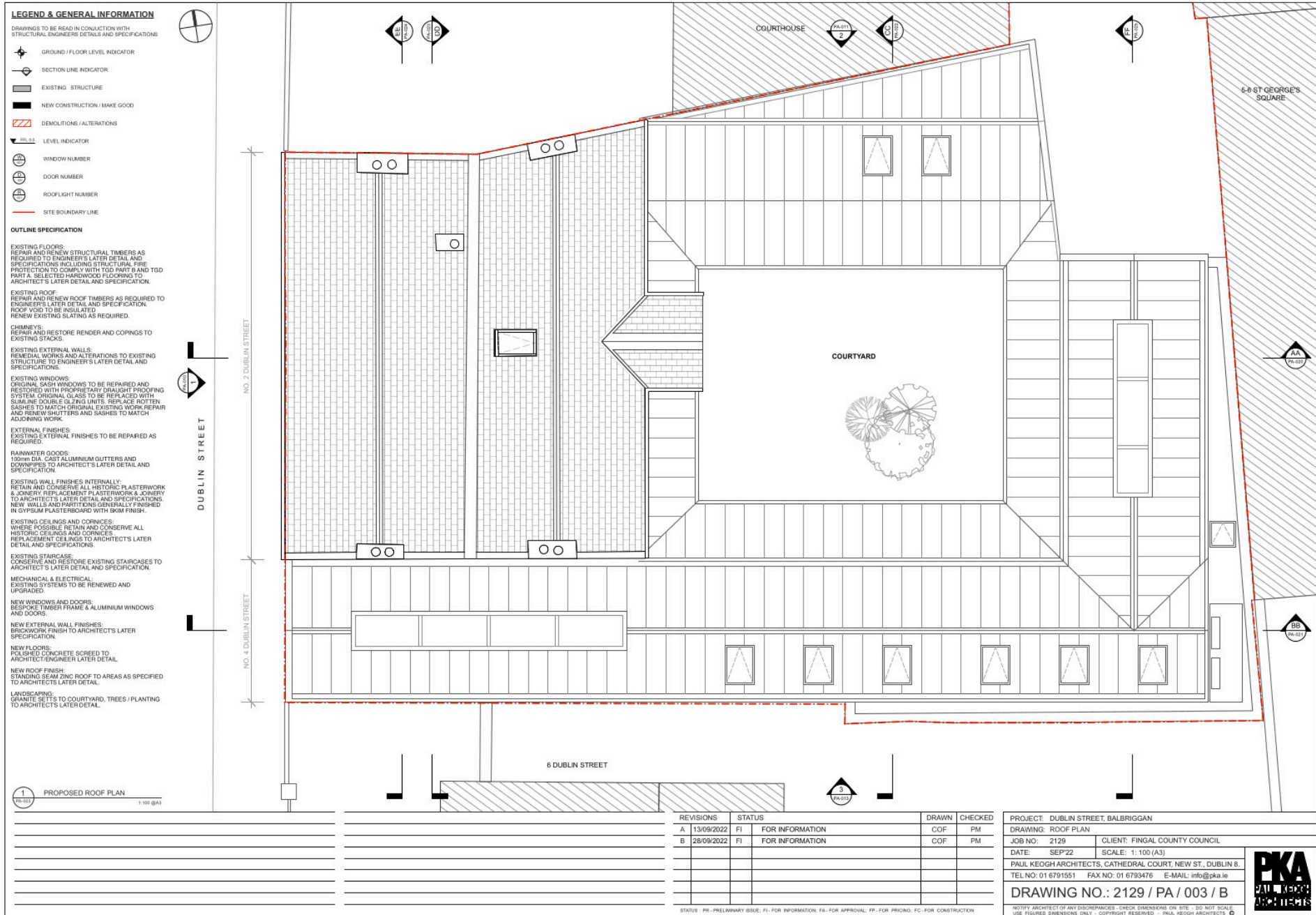


Figure 7. Proposed roof plan

Drainage

The storm water and foul water generated onsite during the construction and operational phases on site will enter the combined existing sewer system at St. Georges Square and flow east to Barnageeragh Wastewater Treatment Plant. It will be treated under licence before being discharged into the Irish Sea. This WwTP is located approximately 4.1 km from the proposed site.

The Irish Water Report from 2020 on Barnageeragh WwTP stated that this plant's capacity will not be exceeded in the next three years and the Organic Capacity (PE) remaining is 27,501. The proposed development will comply with the remaining capacities in this WwTP. The proposed drainage layout is demonstrated in Figure 8.

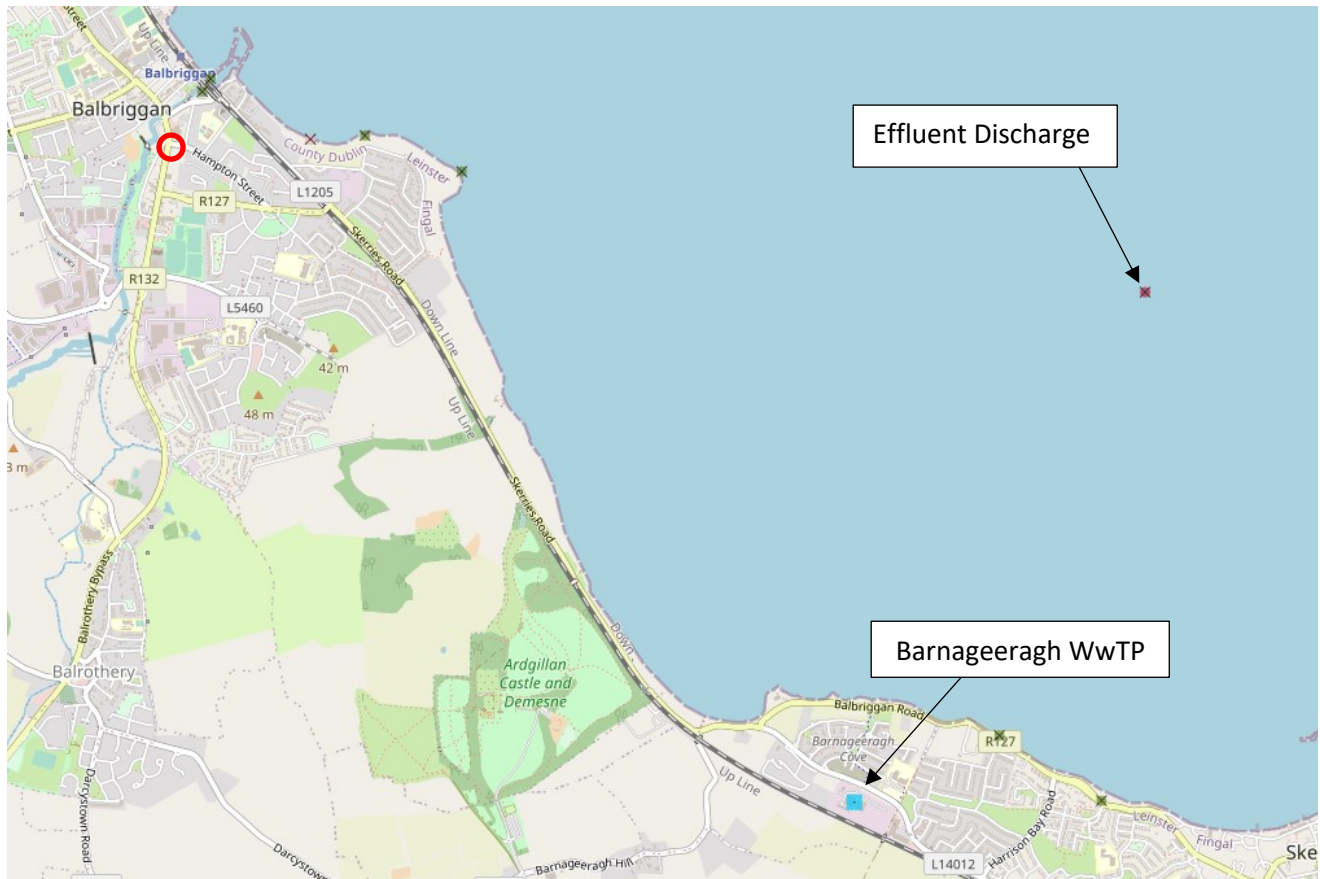


Figure 8. Barnageeragh WwTP and discharge (Proposed site – Red Circle)(Source EPA).

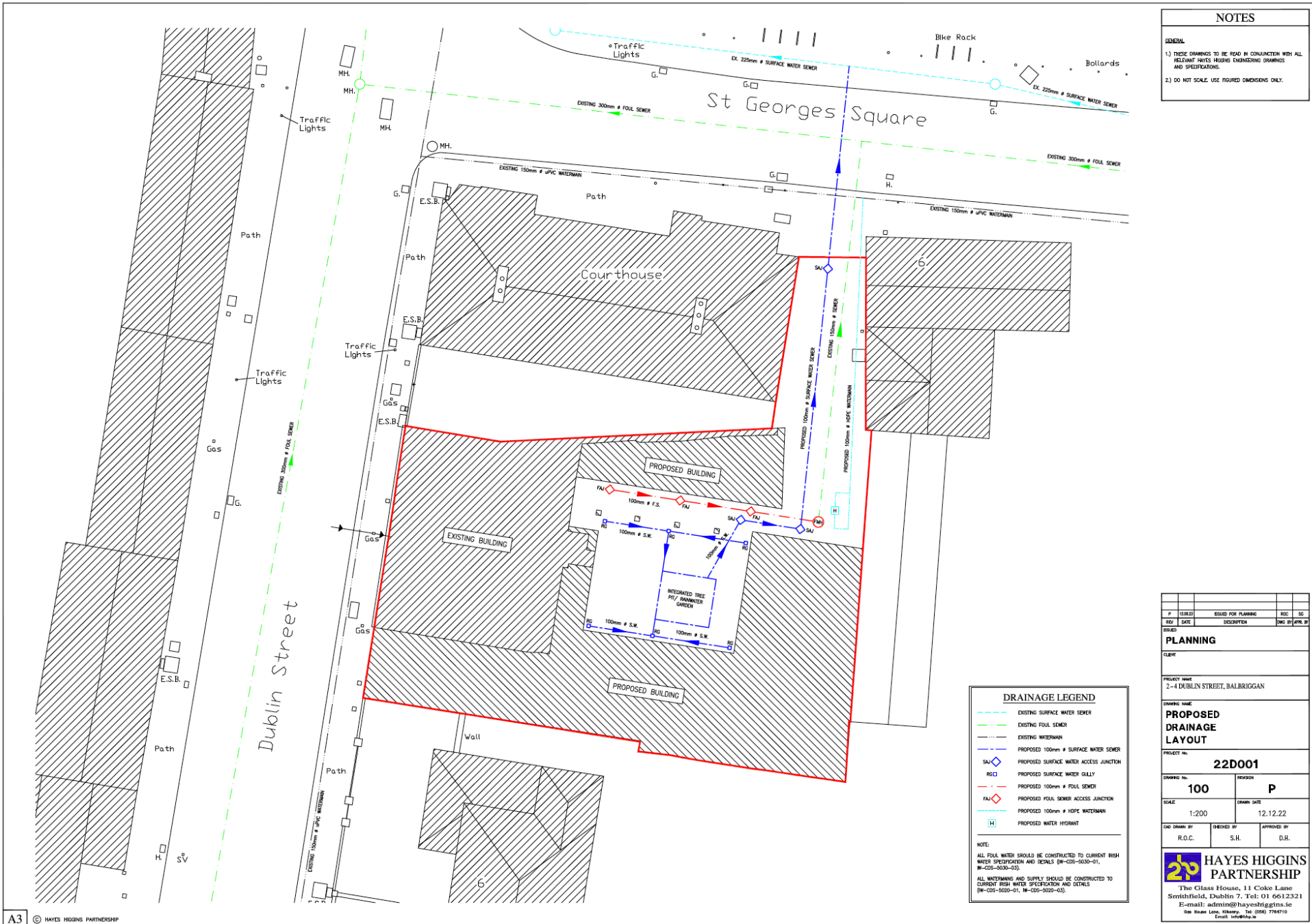


Figure 9. Proposed drainage layout

Identification of Relevant European Sites

The proposed development site is not within a European site. As outlined in Office of the Planning Regulator (2021) *“The zone of influence of a proposed development is the geographical area over which it could affect the receiving environment in a way that could have significant effects on the Qualifying Interests of a European site. This should be established on a case-by-case basis using the Source- Pathway-Receptor framework and not by arbitrary distances (such as 15 km).”*

The nearest European site (River Nanny Estuary and Shore SPA) is 5.1 km from the proposed development site. The River Matt flows east into the Irish Sea 105m to the north of the proposed site (Figure 12). The River Nanny Estuary and Shore SPA is located 5.1km up the coast from the proposed site and it is, therefore, unlikely that any pollutants or chemicals from the site, that potentially enters the watercourse would impact on the conservation objectives or features of interest (Wetlands and Waterbirds) of this European site. All surface water and foul water enter the combined network.

The foul and storm water generated onsite during the construction and operational phases on site will enter the combined existing sewer system at St. Georges Square and flow east to Barnageeragh Wastewater Treatment Plant (located approximately 4.1 km from the proposed site), where it will be treated before being discharged into the Irish Sea from a discharge point located 3km offshore. Given the minimum distance from the proposed development site to European sites located within the marine environment, and the fact that foul and surface water will be treated at Barnageeragh WwTP via the combined sewer network, any pollutants, dust or silt laden run off will be dispersed, diluted, and ultimately treated within the public network prior to reaching the marine environment. Should surface water from the road network enter the Matt River, there is a significant distance between the Matt River to European sites (min 5km) to allow for dilution and mixing to negligible levels at European sites based in the marine environment.

The Zol of the proposed project would be seen to be restricted to the site outline, with potential for minor localised noise and lighting impacts during construction which do not extend significantly beyond the site outline nor are they likely to have any significant effects on any European sites.

Despite a lack of direct hydrological pathway to European Sites, but in the interest of carrying out a thorough assessment in line with both the Habitats Directive, and the precautionary principle, the area of assessment was expanded beyond the Zol to include designated sites within 15km of the proposed development site, and sites beyond 15km with the potential for a hydrological connection. This was done in the interest of ensuring that any pathways, however indirect or remote, were taken into account. All European sites within 15km are listed in Table 1. The qualifying interests, and the potential impact of the proposed development on each European site and qualifying interest, are screened out in Table 2. No potential impacts are foreseen on European sites beyond 15km as there is no direct or indirect pathways to these sites.

SACs and SPAs within 15km of the works site are demonstrated in Figures 10 & 11. Watercourses and European sites proximate to the proposed development are demonstrated in Figures 12-14.

Table 1. Proximity to designated sites of conservation importance

European site	Distance	Direct Pathway
Special Areas of Conservation		
Rockabill to Dalkey Island SAC	7.8 km	No
Boyne Coast and Estuary SAC	11 km	No
Rogerstown Estuary SAC	11.2 km	No
Malahide Estuary SAC	14.8 km	No
Special Protection Areas		
River Nanny Estuary and Shore SPA	5.1 km	No
Skerries Islands SPA	6.4 km	No
Rockabill SPA	8.3 km	No
Rogerstown Estuary SPA	11.2 km	No
Boyne Estuary SPA	12.9 km	No
Malahide Estuary SPA	14.8 km	No

Table 2. Initial screening of European sites within 15km and European sites within 15km with potential of hydrological connection to the proposed development

European site code	Name	Screened IN/OUT	Details/Reason
Special Areas of Conservation			
IE003000	Rockabill to Dalkey Island SAC	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest 1170 Reefs 1351 Harbour porpoise (<i>Phocoena phocoena</i>)</p> <p>Potential Impact The proposed development site is located 7.8 km from the Rockabill to Dalkey Island SAC. There is no direct hydrological pathway from the proposed development site to this SAC.</p> <p>There is a weak indirect hydrological pathway to this SAC via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SAC (7.8 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network. In the absence of mitigation, no significant effects on the qualifying interests of this SAC are likely.</p> <p>No potential impact is foreseen. The construction and operation of the proposed development will have no likely significant effect on the conservation interests of the site. No mitigation measures are deemed necessary to limit the effects of the proposed development on European sites.</p> <p>No significant effects are likely.</p>
IE001957	Boyne Coast and Estuary SAC	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest Estuaries [1130] Mudflats and sandflats not covered by seawater at low tide [1140] Annual vegetation of drift lines [1210] Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows (<i>Glauco-Puccinellietalia maritimae</i>) [1330] Embryonic shifting dunes [2110] Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) [2120] Fixed coastal dunes with herbaceous vegetation (grey dunes) [2130]</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>Potential Impact</p> <p>The proposed development site is located 11 km from the Boyne Coast and Estuary SAC. There is no direct hydrological pathway from the proposed development site to this SAC.</p> <p>There is a weak indirect hydrological pathway to this SAC via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SAC (11 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network. In the absence of mitigation, no significant effects on the qualifying interests of this SAC are likely.</p> <p>No potential impact is foreseen. The construction and operation of the proposed development will have no likely significant effect on the conservation interests of the site. No mitigation measures are deemed necessary to limit the effects of the proposed development on European sites.</p> <p>No significant effects are likely.</p>
IE000208	Rogerstown Estuary SAC	OUT	<p>Conservation Objectives</p> <p>The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest</p> <p>1130 Estuaries 1140 Mudflats and sandflats not covered by seawater at low tide 1310 Salicornia and other annuals colonising mud and sand 1330 Atlantic salt meadows (<i>Glauco-Puccinellietalia maritimae</i>) 1410 Mediterranean salt meadows (<i>Juncetalia maritimi</i>) 2120 Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) 2130 Fixed coastal dunes with herbaceous vegetation (grey dunes)*</p> <p>Potential Impact</p> <p>The proposed development site is located 11.2 km from Rogerstown Estuary SAC. There is no direct hydrological pathway from the proposed development site to this SAC.</p> <p>There is a weak indirect hydrological pathway to this SAC via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SAC (11.2 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>network. In the absence of mitigation, no significant effects on the qualifying interests of this SAC are likely.</p> <p>No potential impact is foreseen. The construction and operation of the proposed development will have no likely significant effect on the conservation interests of the site. No mitigation measures are deemed necessary to limit the effects of the proposed development on European sites.</p> <p>No significant effects are likely.</p>
IE000205	Malahide Estuary SAC	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest Mudflats and sandflats not covered by seawater at low tide [1140] <i>Salicornia</i> and other annuals colonising mud and sand [1310] <i>Spartina</i> swards (<i>Spartinion maritimae</i>) [1320] Atlantic salt meadows (<i>Juncetalia maritima</i>) [1410] Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) [2120] Fixed coastal dunes with herbaceous vegetation (grey dunes) [2130]</p> <p>Potential impact The proposed development site is located 14.8 km from the Malahide Estuary SAC. There is no direct or indirect hydrological pathway from the proposed development site to the SAC.</p> <p>There is a weak indirect hydrological pathway to this SAC via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SAC (14.8 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network. In the absence of mitigation, no significant effects on the qualifying interests of this SAC are likely.</p> <p>No potential impact is foreseen. The construction and operation of the proposed development will have no likely significant effect on the conservation interests of the site. No mitigation measures are deemed necessary to limit the effects of the proposed development on European sites.</p> <p>No significant effects are likely.</p>
Special Protected Areas			
IE004158	River Nanny Estuary and Shore SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>Features of Interest Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Ringed Plover (<i>Charadrius hiaticula</i>) [A137] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Knot (<i>Calidris canutus</i>) [A143] Sanderling (<i>Calidris alba</i>) [A144] Herring Gull (<i>Larus argentatus</i>) [A184] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development site is located 5.1 km the River Nanny Estuary and Shore SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (5.1 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (5.1 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004122	Skerries Islands SPA	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Features of Interest Cormorant (<i>Phalacrocorax carbo</i>) [A017] Shag (<i>Phalacrocorax aristotelis</i>) [A018] Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Purple Sandpiper (<i>Calidris maritima</i>) [A148] Turnstone (<i>Arenaria interpres</i>) [A169] Herring Gull (<i>Larus argentatus</i>) [A184]</p> <p>Potential Impact The proposed development site is located 6.4 km from Skerries Islands SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (6.4 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (6.4 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004014	Rockabill SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest Purple Sandpiper (<i>Calidris maritima</i>) [A148] Roseate Tern (<i>Sterna dougallii</i>) [A192] Common Tern (<i>Sterna hirundo</i>) [A193] Arctic Tern (<i>Sterna paradisaea</i>) [A194]</p> <p>Potential Impact The proposed development site is located 8.3 km from Rockabill SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (8.3 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (8.3 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>No significant effects are likely.</p>
IE004015	Rogerstown Estuary SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest Greylag Goose (<i>Anser anser</i>) [A043] Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Shelduck (<i>Tadorna tadorna</i>) [A048] Shoveler (<i>Anas clypeata</i>) [A056] Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Ringed Plover (<i>Charadrius hiaticula</i>) [A137] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Knot (<i>Calidris canutus</i>) [A143] Dunlin (<i>Calidris alpina</i>) [A149] Black-tailed Godwit (<i>Limosa limosa</i>) [A156] Redshank (<i>Tringa totanus</i>) [A162] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development site is located 11.2 km from Rogerstown Estuary SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (11.2 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (11.2 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004080	Boyne Estuary SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest Shelduck (<i>Tadorna tadorna</i>) [A048]</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Lapwing (<i>Vanellus vanellus</i>) [A142] Knot (<i>Calidris canutus</i>) [A143] Sanderling (<i>Calidris alba</i>) [A144] Black-tailed Godwit (<i>Limosa limosa</i>) [A156] Redshank (<i>Tringa totanus</i>) [A162] Turnstone (<i>Arenaria interpres</i>) [A169] Little Tern (<i>Sterna albifrons</i>) [A195] Wetland and Waterbirds [A999]</p> <p>Potential Impact</p> <p>The proposed development site is located 12.9 km from Boyne Estuary SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (12.9 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted. Foul and surface water from the site will ultimately be treated along the public combined network.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (12.9 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004025	Malahide Estuary SPA	OUT	<p>Conservation Objectives</p> <p>The maintenance of habitats and species within the Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Features of Interest</p> <p>Great Crested Grebe (<i>Podiceps cristatus</i>) [A005] Brent Goose (<i>Branta bernicla hrota</i>) [A046] Shelduck (<i>tandora tandora</i>) [A048] Pintail (<i>Anas acuta</i>) [A054] Goldeneye (<i>Bucephala clangula</i>) [A067] Red-breasted Merganser (<i>Mergus serrator</i>) [A069] Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Knot (<i>Calidris canutus</i>) [A141]</p>

European site code	Name	Screened IN/OUT	Details/Reason
			<p>Dunlin (<i>Calidris alpina alpina</i>) [A149] Black-tailed Godwit (<i>Limosa limosa</i>) [A156] Bar-tailed Godwit (<i>Limosa lapponica</i>) [A157] Redshank (<i>Tringa tetanus</i>) [A162] Wetlands [A999]</p> <p>Proposed Impact</p> <p>The proposed development site is located 14.8 km from Boyne Estuary SPA. There is no direct hydrological pathway from the proposed development site to this SPA.</p> <p>There is a weak indirect hydrological pathway to this SPA via foul and surface water drainage. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to this SPA (14.8 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted, and ultimately treated along the public combined network. In the absence of mitigation, no significant effects on the qualifying interests of this SPA are likely.</p> <p>Given the minimum distance to this SPA across a substantial marine environment (14.8 km), no significant noise or vibration impacts on the bird species protected as qualifying interests of this SPA are foreseen.</p> <p>The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>

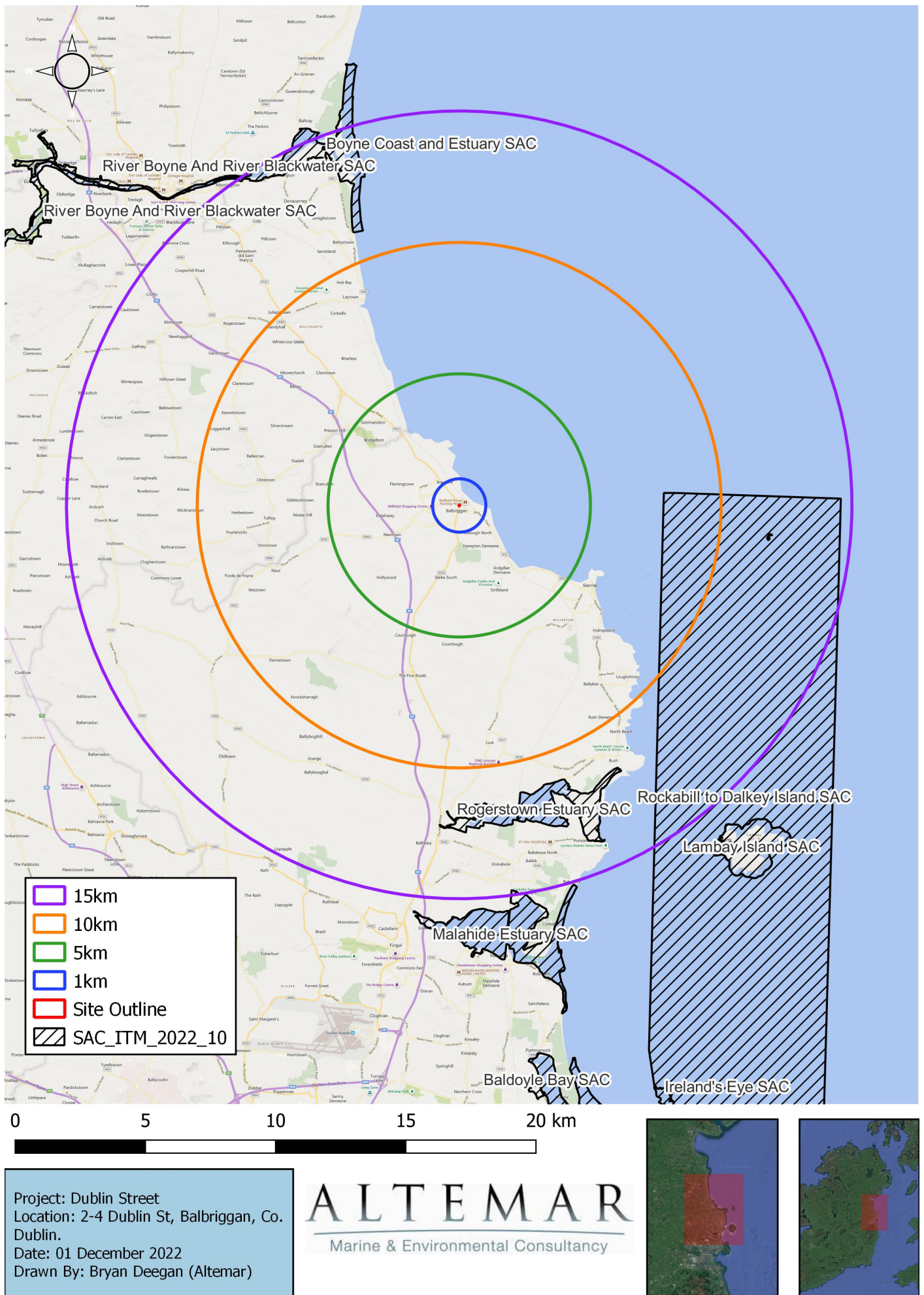


Figure 10. Special Areas of Conservation (SAC) within 15km of the subject site

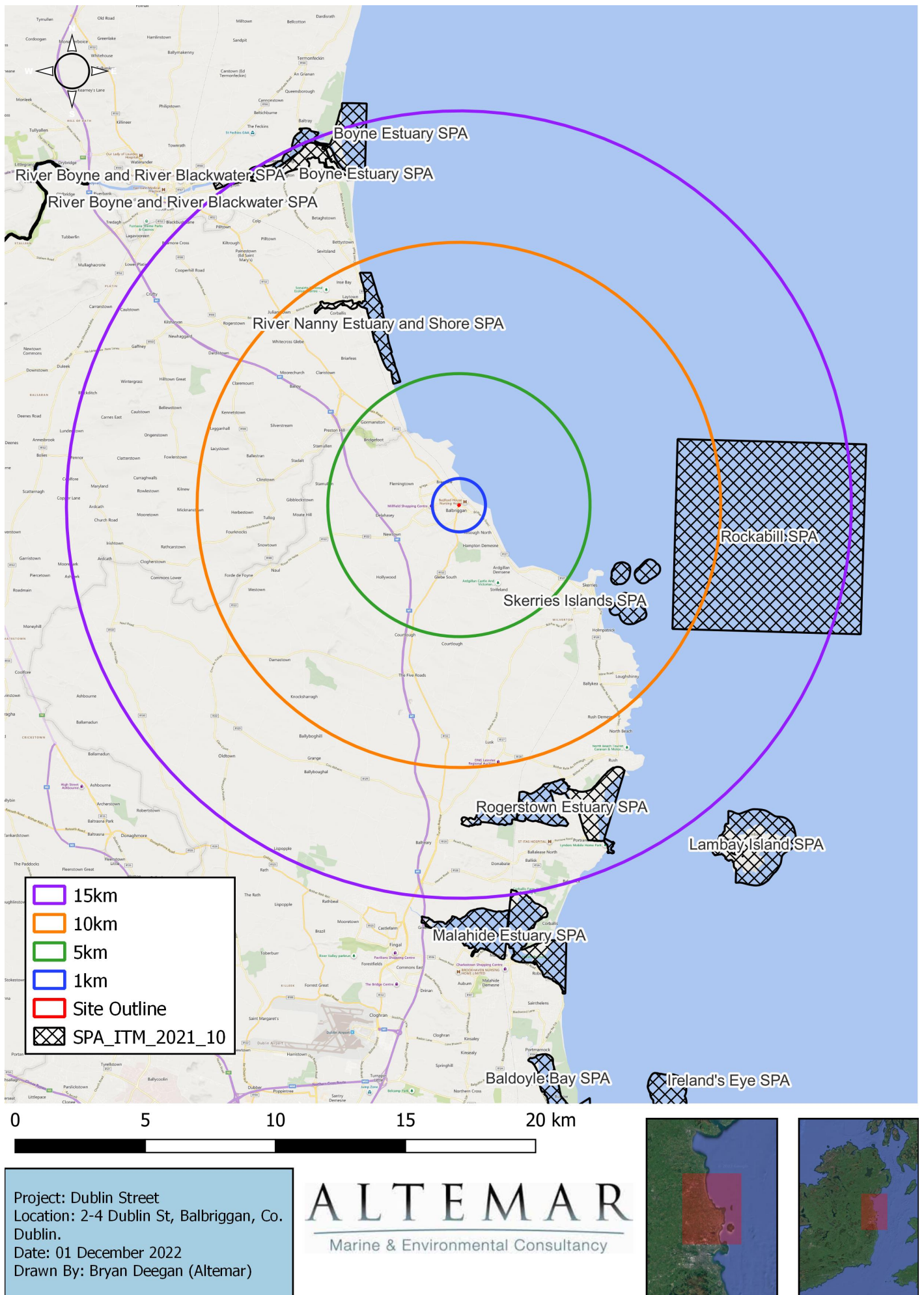


Figure 11. Special Protection Areas (SPA) within 15km of the subject site



Figure 12. Watercourses proximate to the subject site



Figure 13. SACs and watercourses proximate to the proposed development

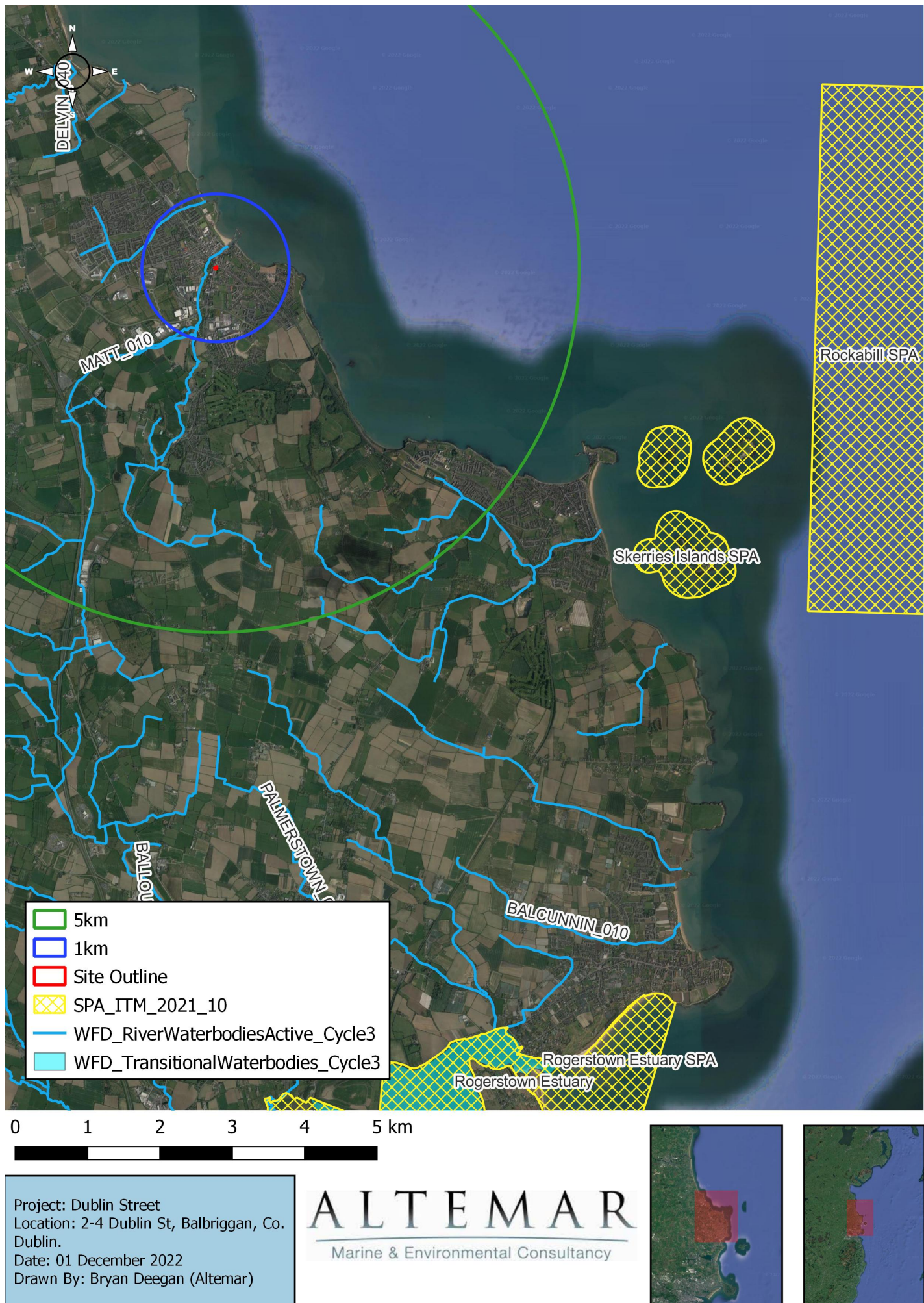


Figure 14. Waterbodies and SPAs within 15 km of the proposed development

In-Combination Effects

There are several development proposals located in the areas surrounding the subject site that have been granted permission. The following is a list of planning application(s) as identified on the Department of Housing, Local Government and Heritage's 'National Planning Application Database' portal:

Table 3. Approved planning applications proximate to the subject site

Ref. No.	Address	Proposal
F19A/0593	Sunshine House, Church Street, Balbriggan, Co Dublin	Retention of a single-storey building to the rear of existing two-storey building (Sunshine House) for use as educational/recreational activities, ancillary to the main building use and to include use as a Montessori/Pre-School between the hours of 9.00 a.m. and 12.30 p.m. Monday - Friday.
F21A/0002	Roscarrig, Church Street, Balbriggan, Co Dublin	Development at the rear of Roscarrig, which is a Protected Structure. The development consists of the installation of a two-storey external glazed service lift at the end of the coach house return. AI received 08/04/21
F19A/0217	17 Hampton Street, Balbriggan, Co. Dublin	Planning permission for the construction of a single storey extension to the rear southern elevation, permission to increase the existing roof level of the existing storey and a half extension to the rear southern elevation, internal and external modifications to the building to reinstate and maintain existing Protected Structure features. Planning permission also to erect a new access gate to the rear boundary and all associated site development works and services at RSP Ref: 0056. Protected Structure under Fingal Co. Council RSP REF: 0056 Add Info received 25th July 2019.
F20A/0255	24/26 Dublin Street, Balbriggan, Co Dublin	Alteration to the existing west elevation shop-front by providing a new aluminium and glass staff entrance door and on the north elevation a new exterior steel plated security metal fire escape door in grey (RAL 7012) to match the existing rear doors.
F20A/0067	28, Dublin Street, Balbriggan, Co. Dublin, K32 W250	The construction of 2 no. 3 bedroom semi-detached, two storey dwellings with attic level accommodation both with dormer windows and associated site works.
F22A/0023	The Central Bar, Bridge Street, Balbriggan, Dublin	Planning permission is sought for the change of use from residential to commercial use of the existing first floor residential unit and existing roof terraces and existing first floor storeroom building, all above the existing public house premises. The new layout to the first floor will include new function room, storage rooms, customer, and staff toilets and a new dispense and servery bar. The works involve removal of part of the roof to the existing first floor storeroom building to the rear of the property to increase the area of outdoor terrace. The works also include a retractable awning over part of the outdoor seating area and glass balustrades at first floor level to the southern boundary of the property overlooking the River Bracken and all ancillary site works at the existing licenced premises.
F20A/0152	22 Bridge Street, Balbriggan, Co. Dublin, K32 FN51	Change of use of an existing ground floor commercial and first floor office premises to part commercial and a studio apartment at ground floor level and the conversion of existing first floor office to a two bedroom apartment with access off Clonard Street. The works involve the part demolition of an existing ground floor kitchen to provide a ground floor courtyard and ancillary site works.
F16A/0220	40-42, Clonard Street, Balbriggan, Co Dublin	Demolition of 1 and 2 storey buildings and derelict structures used as agricultural storage and the construction of new 2 storey detached dwelling ,new crossover, off street parking for 2 cars and ancillary site works

Ref. No.	Address	Proposal
F20A/0374	Ard Na Greine, 2 Seapoint Lane, Balbriggan, Co Dublin	Permission for alterations to previously approved Reg Ref: F20A/0120 to include; 1) New metal clad dormer to side. 2) Additional solar panels to front extend previously approved dormer to rear. 3) Change front bay window to a corner window. 4) Alterations to previously approved driveway/pedestrian entrances and boundary to set back 2 meters and extend to 1.8 meters for security. 5) All ancillary works.
F19A/0540	The White House, The Harbour, Seapoint Lane, Balbriggan, Co Dublin	The development will consist of the removal of the existing structure, the construction of a new two storey four bedroom house with a roof terrace, green roofs, new boundary walls, pedestrian and vehicular access gates and all associated ancillary works to the site.
F21A/0252	47 Clonard Street, Balbriggan, Co Dublin	Proposed two storey extension to side and rear (extended living room, 2 new bedrooms, bathroom); single storey extension to rear (extended kitchen, laundry, pantry & bathroom). Small, front, upper window to be replaced by one matching existing upper front window. Existing porch and chimney to be removed. The development includes the diversion of existing foul sewer to avoid the proposed extension, together with all associated site works. AI received 08/10/21 CAI received 11/11/21
F19B/0059	Seapoint, Seapoint Road, Balbriggan, Co. Dublin	The development will consist of: - (i) Removing the single storey hipped roof at the front of the house (ii) Extending the entire front upper floor and attic apex wall forward by 2.5 metres (iii) Providing a new balcony at the rear window/door of the Master Bedroom, relocation of windows and other changes to windows at the side and rear elevations of the house and (iv) All associated internal alterations, site and drainage works.

There are no significant projects that have been granted planning or currently under construction, proximate to the development, that could potentially cause in combination effects on European sites.

Given this, it is considered that in combination effects with other existing and proposed developments in proximity to the application area would be unlikely, neutral, not significant and localised. It is concluded that no significant effects on Natura 2000 sites are likely as a result of the proposed development in combination with other projects. No in combination effects are foreseen.

No projects in the vicinity of the proposed development would be seen to have a significant in combination effect on Natura 2000 sites.

Conclusions

The proposed development site is located 5.1 km from the nearest European site (River Nanny Estuary and Shore SPA). The River Matt flows east into the Irish Sea 105m to the north of the proposed site (Figure 12). The River Nanny Estuary and Shore SPA is located 5.1km up the coast from the proposed site and it is, therefore, unlikely that any pollutants or chemicals from the site, that potentially enters the watercourse would impact on the conservation objectives or features of interest (Wetlands and Waterbirds) of this European site. Hence, no impacts would arise for the features of interest, due to the potential deterioration of the water quality from the proposed development. No significant effects on this SPA are likely.

There is a weak indirect hydrological connection to marine-based European sites via foul and storm water drainage during the construction and operational phases of development. Foul and surface water drainage from the subject site will be directed to the Barnageeragh WwTP, where it will be treated and ultimately discharged to the Irish Sea from a discharge point located 3km offshore. Given the distance from the proposed development site to the nearest European Site (5.1 km) and that foul and surface water drainage will be treated prior to being discharged into the Irish Sea, any pollutants, dust or silt laden run off that enters the drainage system will be disperse, diluted, and ultimately treated along the public combined network. If silt laden water was to enter the Matt River, in the absence of mitigation there is sufficient mixing and dilution and mixing within the marine environment, and flocculation within the estuarine environment to reduce pollutants to negligible levels within the intervening distance. No specific mitigation is required to prevent impacts on European sites.

No European sites are within the zone of influence of the proposed development. Having taken into consideration the foul and surface water drainage from the proposed development, the distance between the proposed development to designated conservation sites, lack of direct hydrological pathway or biodiversity corridor link to conservation sites and the dilution effect with other effluent and surface runoff, it is concluded that the proposed development would not give rise to any significant effects to designated sites. The construction and operation of the proposed development will not impact on the conservation objectives of qualifying interests of European sites.

This report presents a Stage 1 Appropriate Assessment Screening for the Proposed Development, outlining the information required for the competent authority to screen for appropriate assessment and to determine whether or not the Proposed Development, either alone or in combination with other plans and projects, in view of best scientific knowledge, is likely to have a significant effect on any European or European site.

On the basis of the content of this report, the competent authority is enabled to conduct a Stage 1 Screening for Appropriate Assessment and consider whether, in view of best scientific knowledge and in view of the conservation objectives of the relevant European sites, the Proposed Development, individually or in combination with other plans or projects is likely to have a significant effect on any European site.

Data Used for AA Screening

NPWS site synopses and Conservation objectives of sites within 15km were assessed. The most recent SAC and SPA boundary shapefiles were downloaded and overlaid on ESRI road maps and satellite imagery. A site visit was carried out on the 7th December 2022.

Findings of No Significant Effects Report

Details of Project	Redevelopment at 2-4 Dublin Street in Balbriggan, a site of 570 m ² / 0.057 ha approx. which includes No. 2 Dublin Street (Protected Structure 0058). The site also includes the laneway connecting the rear of the site to St George's Square. The site sits within the Balbriggan Town Core Architectural Conservation Area.
Name and Location of EUROPEAN Sites Within 15km	Rockabill to Dalkey Island SAC Boyne Coast and Estuary SAC Rogerstown Estuary SAC Malahide Estuary SAC River Nanny Estuary and Shore SPA Skerries Islands SPA Rockabill SPA Rogerstown Estuary SPA Boyne Estuary SPA Malahide Estuary SPA
Project Description	Redevelopment of existing buildings.
Is the Project directly connected with the management of the European site?	No
Details of any other projects or plans that together with this project could affect the EUROPEAN site	None
The assessment of significant effects	
Describe how the project is likely to affect the EUROPEAN site	No Impact Predicted
Response to consultation	N/A
Data collected to carry out the assessment	Site Visit and Supporting NPWS data.
Who carried out the assessment	Altemar Ltd.
Sources of data	NPWS website, standard data form, conservation objectives data of the site and references outlined in the AA Screening Report.
Explain why the effects are not considered significant	No European sites are within the zone of influence of these works. There is no direct hydrological pathway to European sites. Having taken into consideration the surface water discharge from the proposed development, the distance between the proposed development site to designated conservation sites, lack of direct hydrological pathway to conservation sites and the dilution effect and treatment of effluent and surface runoff, it is concluded that the proposed development would not give rise to any significant effects to designated sites.
Level of assessment completed	Stage 1 Screening
Overall conclusions	On the basis of the content of this report, the competent authority is enabled to conduct a Stage 1 Screening for Appropriate Assessment and consider whether, in view of best scientific knowledge and in view of the conservation objectives of the relevant European sites, the Proposed Development, individually or in combination with other plans or projects is likely to have a significant effect on any European site.

References

1. Department of Environment Heritage and Local Government Circular NPW 1/10 and PSSP 2/10 on Appropriate Assessment under Article 6 of the Habitats Directive – Guidance for Planning Authorities March 2010.
2. Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities, Department of the Environment, Heritage and Local Government 2009;
http://www.npws.ie/publications/archive/NPWS_2009_AA_Guidance.pdf
3. Managing EUROPEAN Sites: the provisions of Article 6 of the Habitats Directive 92/43/EEC, European Commission 2000;
4. Assessment of Plans and Projects Significantly Affecting EUROPEAN Sites: Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC;
5. Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC – Clarification of the concepts of: alternative solutions, imperative reasons of overriding public interest, compensatory measures, overall coherence, opinion of the commission;
6. Guidance document on the implementation of the birds and habitats directive in estuaries and coastal zones with particular attention to port development and dredging;
http://ec.europa.eu/environment/nature/Natura2000/management/docs/guidance_doc.pdf
7. The Status of EU Protected Habitats and Species in Ireland.
http://www.npws.ie/publications/euconservationstatus/NPWS_2007_Conservation_Status_Report.pdf
8. NPWS (2013) Conservation Objectives: Malahide Estuary SAC 000205. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht.
9. NPWS (2013) Conservation Objectives: Rogerstown Estuary SAC 000208. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht.
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11. NPWS (2013) Conservation Objectives: Malahide Estuary SPA 004025. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht.
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13. NPWS (2013) Conservation Objectives: Boyne Estuary SPA 004080. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht.
14. NPWS (2022) Conservation objectives for Skerries Islands SPA [004122]. First Order Sitespecific Conservation Objectives Version 1.0. Department of Housing, Local Government and Heritage.
15. NPWS (2012) Conservation Objectives: River Nanny Estuary and Shore SPA 004158. Version 1.0. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht
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